

COMMITTEE DATE: 09/12/2015

APPLICATION No. **15/02126/MJR** APPLICATION DATE: 10/09/2015

ED: **PENTYRCH**

APP: TYPE: Reserved Matters

APPLICANT: Redrow

LOCATION: LAND NORTH OF HEOL GOCH, PENTYRCH, CARDIFF

PROPOSAL: DEVELOPMENT OF 51 RESIDENTIAL DWELLINGS
AND ASSOCIATED WORKS PURSUANT TO OUTLINE
PLANNING CONSENT REFERENCE 13/00836/DCO

RECOMMENDATION 1 : That approval of reserved matters be **GRANTED** subject to the following conditions :

1. All the conditions imposed on notice of outline approval (reference no. 13/00836/DCO) are hereby reiterated in as much as they relate to the development and have yet to be discharged in writing by the Local Planning Authority.
Reason: For the avoidance of doubt and in order to ensure that the development is carried out in accordance with the conditions of the planning permission.
2. The development shall be carried out in accordance with the following approved plans and documents:

Received 10/09/2015 :

HOUSE TYPE 4.2.2

HOUSE TYPE 5.3.3

EF_AMBY_DM.1.0 REV A - THE AMBERLEY

EF_BALM_DM.1.0 - THE BALMORAL - FLOOR PLANS

EF_BALM_DM.1.0 - THE BALMORAL - ELEVATIONS

EF_CAMB_DM.2.0 – THE CAMBRIDGE - RENDER

EF_CAMB_DM.2.0 - THE CAMBRIDGE – BRICK

EF_HIG5_DM.1.0 REV A - THE HIGHGATE - ELEVATIONS

EF_HIG5_DM.1.0 REV B - THE HIGHGATE- FLOOR PLANS

EF_OXFD+_DM.1.0 - THE OXFORD - BRICK

EF_OXFD+_DM.1.0 - THE OXFORD – RENDER

EF_SHAF_DM.1.0 - THE SHAFTESBURY - BRICK

EF_SHAF_DM.1.0 - THE SHAFTESBURY - RENDER

EF_SHAF_DM.1.0 - THE SHAFTESBURY – FLOOR PLANS

EF_SUND_DM.2.0 - THE SUNNINGDALE - ELEVATIONS

EF_SUND_DM.2.0 REV A - THE SUNNINGDALE - FLOOR PLANS

DOUBLE GARAGE - TYPE 13

SINGLE GARAGE - TYPE 1

DOUBLE GARAGE - TYPE 12

DOUBLE GARAGE - TYPE 11

SITE LOCATION PLAN

Received 27/11/2015:

PENT-15-04-01 - REV B – SITE LOCATION PLAN

PENT-15-04-02 - REV C - PLANNING LAYOUT

PENT-15-04-03 - REV C - EXTERNAL MATERIALS LAYOUT

PENT-15-04-04 - REV C - BOUNDARY ENCLOSURES LAYOUT

PENT-15-04-05 - REV B – STOREY HEIGHTS LAYOUT

Reason: For the avoidance of doubt as to the extent of the permission.

3. The consent does not extend to:

Construction Works Management Plan;

Procedure 03:Waste Management Note;

Procedure 03: Dust Emissions and Odours Note;

BS 5228-1:2009 Note;

1505-86_1200;

1505-86_1205;

1505-86_1401;

1505-86_1402;

1505-86_1403;

1505-86_1000;

1505-86_1405;

150819 SUDS Management and Maintenance Plan;

DSO993 Bypass Interceptor Details;

Greenfield Calculations sheet;

Ecological Management Plan and Environmental Construction Method Statement;

Preliminary Ground Investigation, Core Geotechnics 31/03/2013;

Phase 2 Geo-environmental Assessment, Core Geotechnics 21/5/2015;

Site report and management plan for the control & eradication of Japanese Knotweed;

1505-86_1300;

1505-86_1400;

1505-86_SP01 A;

PENT-15-04-06 REV B

Reason: For the avoidance of doubt, since these details do not relate to the reserved matters for which consent is sought.

4. Prior to the commencement of their construction, drawings showing the details of the appearance of the proposed brick boundary walls shall be submitted to and approved in writing by the local planning authority and the approved boundary treatments shall be erected before the dwelling to which each boundary treatment relates is first occupied.

Reason: To ensure that the amenities of the area are protected, in accordance with policies 2.20 and 2.24 of the deposit Cardiff Unitary Development Plan.

5. Prior to the commencement of its construction, drawings showing the details of the appearance (including finishing materials) of the proposed external walls of the pumping station shall be submitted to and approved in writing by the local planning authority. The development shall be constructed and completed in accordance with the approved details.
Reason: To ensure that the amenities of the area are protected, in accordance with policies 2.20 and 2.24 of the deposit Cardiff Unitary Development Plan.
6. Prior to the commencement of development plans showing details of the proposed floor levels of the buildings and proposed finished levels of roads and hardstandings in relation to the existing ground level and the finished levels of the site shall be submitted to and approved in writing by the local planning authority. The development shall be constructed and completed in accordance with the approved details.
Reason: These details are not included with the application and are required to ensure an orderly form of development in accordance with policy 2.20 of the deposit Cardiff Unitary Development Plan.
7. No development shall take place that does not accord with the Arboricultural Method Statement (Incorporating Tree Protection) dated August 2015, Report Reference EDP1361_12, unless otherwise agreed in writing by the Local Planning Authority.
Reason: In the interests of visual amenity and tree protection, in accordance with policy LC10 of the Mid Glamorgan County Structure Plan Incorporating Proposed alterations No.1, policies 2.20 and 2.45 of the deposit Cardiff Unitary Development Plan and paragraph 5.2.9 of Planning Policy Wales (July 2014).
8. Notwithstanding the submitted information, this approval does not extend to the following details of landscaping as submitted:
EDP1361_41: PLOT PLANTING PLAN 1 OF 3
EDP1361_42: PLOT PLANTING PLAN 2 OF 3
EDP1361_43: PLOT PLANTING PLAN 3 OF 3
EDP1361_44: POS SOFT LANDSCAPE PLAN 1 OF 2
EDP1361_45: POS SOFT LANDSCAPE PLAN 2 OF 2
EDP1361_11: LANDSCAPING DETAILS - PENTYRCH TOPSOIL SPECIFICATION.
REPORT 1147/1: LANDSCAPING DETAILS - PENTYRCH SOILS REPORT.
No equipment, plant or materials shall be brought onto the site for the purpose of development until the following details in relation to landscape works have been submitted to and approved in writing by the Local Planning Authority:

 - A Soil Resource Survey (SRS) and Soil Resource Plan (SRP);
 - Planting Plans that have been informed by the SRS and SRP (including schedules of plant species, sizes, numbers or densities, and in the case of trees, planting, staking, mulching, tree pit section and plan views for different situations - i.e. open grown on existing soils or restricted pits with introduced or remediated soils - tree

- protection, soil protection and after care methods),
- A topsoil and subsoil specification for all planted and retained soft landscape areas across the site that has been informed by the SRS and SRP and which accords with BS 3882:2007 (topsoil), BS 8601:2013 (subsoil) and the DEFRA Construction Code of Practice for the Sustainable Use of Soils on Construction Sites (2009);
- Percolation testing must demonstrate adequate tree pit drainage (annex B.2.4 BS 8545:2014) and soil bulk densities must be demonstrated to be suitable to support tree root growth (annex B.2.5 BS 8545:2014) . Where impeded drainage or compaction is shown to be a problem, site specific solutions must be proposed;
- Proposed and existing services (including drainage) above and below ground level;
- A planting and 5 year aftercare methodology, informed by the SRS, SRP and soil specifications, including a chronological matrix of aftercare tasks for different planted areas and conforming with BS 8545:2014 and BS 3998:2010 (formative pruning).
- An implementation programme.

The details of landscaping shall be consistent with other plans submitted in support of the application and the landscaping shall be carried out in accordance with the approved details.

Reason : Further details of landscaping proposals, amended to correspond with amended layout details, are required in order to enable the Local Planning Authority to determine that the proposals will maintain and improve the amenity of the area in accordance with policy 2.20 of the deposit Cardiff Unitary Development Plan.

9. All hard surfaces within the development shall be constructed in accordance with a schedule of materials which shall be submitted to and approved by the Local Planning Authority prior to their construction on site, and thereafter all approved permeable hard surfaces shall be retained as such and shall not at any time be replaced with impermeable materials.

Reason: To ensure that the amenities of the area are protected, in accordance with policy 2.20 of the deposit Cardiff Unitary Development Plan, and to ensure that the hard surfaces accord with the requirements for surface water drainage of the site.

RECOMMENDATION 2: The applicant is advised that no Public Right of Way may be blocked, diverted or work commenced until the relevant Legal Order under the Highways Act 1980 is confirmed, otherwise there is an offence committed of obstructing a highway. Any changes to rights of way, however slight, will require a Legal Order and this order is open to public objection, which can result in a Public Enquiry.

RECOMMENDATION 3: The applicant is advised that where any species listed under Schedules 2 or 4 of the Conservation of Habitats and Species Regulations 2010 is present on the site in respect of which this permission is granted, no works of site clearance, demolition or construction should take place in pursuance of this permission unless a licence to disturb any such

species has been granted in accordance with the aforementioned Regulations.

RECOMMENDATION 4: The applicant is advised that nesting birds are protected under the Wildlife and Countryside Act 1981: Part 1, 1(1)(b). It is an offence to intentionally take, damage or destroy the nest of any wild bird while that nest is in use or being built.

RECOMMENDATION 5: The proposed development site is crossed by a public sewer, the approximate location of which can be viewed on the Statutory Public Sewer Record. The developer is advised that the position of the sewer should be accurately located and marked out on site before works commence and no operational development should be carried out within 3 metres either side of the centreline of the public sewer. The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water Industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. The applicant is also advised that some public sewers and lateral drains may not be recorded on maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets may affect the proposal.

RECOMMENDATION 6: The developer is advised that no problems are envisaged with the Waste Water Treatment Works for the treatment of domestic discharges from this site. A water supply can be made available to serve the proposed development. The developer may be required to contribute, under Sections 40 - 41 of the Water Industry Act 1991, towards the provision of new off-site and/or on-site water mains and associated infrastructure. The level of contribution can be calculated upon receipt by Dwr Cymru Welsh Water of detailed site layout plans.

RECOMMENDATION 7: In the interests of security it is recommended that: all ground floor windows and main entrance doors comply with PAS24; all garage doors are fitted with locking mechanisms which meet LPS 1175 SR1; all houses are fitted with external service meters located towards front elevations; all rear gardens are secured by 1.8 m high fencing or walling and gating; a suitable scheme of work is provided to ensure adequate lighting is provided. If the above advice is incorporated or confirmed by developers then they would be able to apply for a secured by design award as promoted by South Wales Police. Information on Secured by Design standards is available on the website www.securedbydesign.com

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

1.1 The application seeks the approval of reserved matters following the granting of outline planning permission for approximately 47 residential units, comprising a mixture of two, three, four and five bedroom houses with vehicular and pedestrian access off Heol Goch. Details of access were approved at the outline stage therefore this application relates only to the details of layout, scale, appearance and landscaping. Reserved matters approval has already been granted for a development of 47 units: this application now seeks approval for a development of 51 dwellings.

1.2 Layout:

51 residential units, comprising a mixture of two, three, four and five bedroom houses, will be arranged around the access road, with some houses fronting onto short spurs. Around 30% of the development comprises affordable housing and these units will be located towards the western side of the site and fronting onto Heol Goch.

1.3 Garages (single or double) will be provided for 36 of the houses; the remainder will have one or two off-road parking spaces to the front.

1.4 A strip of land containing a stream adjacent to the spur road at the northern boundary will be retained as a "wildlife buffer". And will remain undeveloped. To the west and south the rear of houses will back onto the rear boundaries of existing houses. The north eastern part of the site will remain undeveloped and serve as public open space and wildlife habitat.

1.5 Scale

All proposed dwellings are two storeys in height. Garages will be single storey. There will be a mixture of detached, semi-detached and terraced properties.

1.6 Appearance

The houses will be of a vernacular appearance, with features such as brick window heads and cills, pitched-roofed canopies above front doors, front gables and windows with vertical emphasis. They will be finished in either brick or brick and render and will have grey or mixed russet roof tiles.

1.8 Landscaping

An area within the north eastern corner of the site is set aside for grassland habitat mitigation and is incorporated into the open space for the development. A Local Area of Play is proposed to be included within the open space. No trees of high quality are to be removed and retained trees at the edges of the site will be protected during development. Detailed planting plans for all plots were submitted with the application; however these have not been updated to correspond with amendments to the layout

2. **DESCRIPTION OF SITE**

2.1 The site is a 2.5 hectare green field site on the eastern edge of Pentyrch, comprising two fields of grassland recently used for pony/horse grazing.

Generally sloping northwards it is surrounded by mature trees to the north and east with a road and dwellings to the south along Heol Goch. The northern field boundary is also defined by a small stream (Nant Cwm Llwydrew) and other vegetation leading into woodland. The eastern boundary includes a hedgerow with scattered mature trees. The two main field parcels are further separated by a mature hedgerow with scattered trees. There are long clear views from the site to the north towards Garth Hill and short views on high points of the site towards housing to the North West. A Public Right of Way runs to the north of the site.

3. **SITE HISTORY**

- 3.1 13/00836/DCO – Outline planning permission for residential development with vehicular access from Heol Goch.
- 3.2 15/00301/MNR – Reserved matters application for 47 dwellings at land north of Heol Goch following outline application 13/00836/DCO.

4. **POLICY FRAMEWORK**

- 4.1 *Mid Glamorgan County Structure Plan Incorporating Proposed alterations No. 1*
–
H11 (existing residential areas characterised by high standards of privacy and spaciousness to be protected against over-development and insensitive/inappropriate infilling);
LC5 (presumption against development which would adversely affect sites of nature conservation importance);
LC9 (presumption against development which constitutes significant intrusion into landscape);
LC10 (existing natural woodlands should be protected and maintained);
- 4.2 *Supplementary Planning Guidance - Access, Circulation and Parking Standards (January 2010); Cardiff Residential Design Guide (March 2008); Trees and Development (March 2007); Waste Collection and Storage Facilities (March 2007); Biodiversity: Part 1 & Part 2 (June 2006); Open Space (June 2000); Public Rights of Way and Development (October 2006).*
- 4.3 *Deposit Cardiff Unitary Development Plan –*
2.20 (Good Design);
2.24 (Residential Amenity);
2.43 (General Landscape Protection);
2.44 (Special Landscape Areas);
2.45 (Trees, Woodlands and Hedgerows);
2.46 (Sites of International or National Importance for Nature Conservation);
2.48 (Biodiversity);
2.57 (Access, Circulation and Parking Requirements);
2.61 (Protection of Water Resources);
2.74 (Provision for Waste Management Facilities in Development).
- 4.4 *Planning Policy Wales (July 2014):*

3.1.8: While the substance of local views must be considered, the duty is to decide each case on its planning merits. Local opposition or support for a proposal is not, on its own, a reasonable ground for refusing or granting planning permission.

4.4.3: Planning policies and proposals should (inter alia)

- Facilitate sustainable building standards
- Contribute to the protection and improvement of the environment so as to improve the quality of life and protect local and global ecosystems
- Ensure that all communities have sufficient good quality housing – including affordable housing – in safe neighbourhoods

4.11.8: Good design is essential to ensure that areas offer high environmental quality, including open and green spaces. Landscape considerations are an integral part of the design process and can make a positive contribution to environmental protection and improvement.

4.11.9: Visual appearance, scale and relationship to surroundings and context are material planning considerations. Local planning Authorities should reject poor building and contextual designs.

4.11.11: Local planning authorities and developers should consider the issue of accessibility for all.

4.11.12: Local Authorities are under a legal obligation to consider the need to prevent and reduce crime and disorder in all decisions that they take.

4.12.3: Development proposals should also include features that provide effective adaptation to and resilience against the current and predicted future effects of climate change, for example by incorporating green space to provide shading, sustainable drainage systems to reduce run-off, and are designed to prevent over-heating and to avoid the need for artificial cooling of buildings.

5.2.8: Local Authorities must address biodiversity issues, insofar as they relate to land use planning, in development control decisions.

5.2.9: Local Planning Authorities should seek to protect trees, groups of trees and areas of woodland where they have natural heritage value or contribute to the character or amenity of a locality.

5.5.1: The effect of a development proposal on the wildlife or landscape of any area can be a material planning consideration. It is important to balance conservation objectives with the wider economic needs of local businesses and communities.

5.5.2: When considering any development proposal, local planning authorities should consider environmental impact.

5.5.5: Statutory designation does not necessarily prohibit development but proposals must be carefully assessed for their effect on those natural heritage interests which the designation is intended to protect.

5.5.13: Local Authorities have a duty to ensure that adequate provision is made for the planting or preservation of trees by imposing conditions and/or by making tree preservation orders.

9.1.1 : The Assembly Government will seek to ensure that previously developed land is used in preference to Greenfield sites; new housing and residential environments are well designed, meet national sustainability standards and make a significant contribution to promoting community regeneration and improving the quality of life, and new housing development in towns, villages and edge of settlement locations is a mix of affordable and

market housing that retains and where possible enhances important landscape and wildlife features in the development.

9.1.2: Local authorities should promote sustainable residential environments, avoid large housing areas of monotonous character and make appropriate provision for affordable housing. Local authorities should promote mixed tenure communities, development that is easily accessible by public transport, attractive landscapes around buildings etc.

4.5 *Technical Advice Note 12 - Design (2009).*

4.6 *Natural Environment and Rural Communities Act 2006, Section 40:*
Every public authority must, in exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity.

5. **INTERNAL CONSULTEE RESPONSES**

5.1 *Transportation:* The submitted layout drawing doesn't incorporate the frontage footway along Heol Goch which was stipulated in Condition 2 of the outline consent (13/836/MJR) i.e. including unit 9 which is accessed directly off Heol Goch. Its provision is required to both maximise improvements to pedestrian facilities and also ensure adequate visibility for vehicles emerging from unit 9. Note that the provision of a footway along the full frontage (including the bungalow site which is not part of the application site – but across which existing road space will be utilised to provide a continuous length of footway) 'has' been included in the technical discussions which already taken place with regards to the Section 278 agreement for the highway improvements required under Condition 2 of the outline consent.

5.2 I understand that revised drawings will be submitted in the very near future which will address this matter. The revised drawings will also incorporate the provision of a full width footway adjacent to the first cul de sac which provides access to units 43-49 – as opposed to the narrow strip which is currently shown. A proper footway is required in the interests of pedestrian safety in view the alignment of the cul de sac with restricted visibility in the vicinity of unit 45. My comments are therefore in anticipation of the receipt of revised drawings which address these concerns.

5.3 I note that a number of technical drawings relating to the construction and vertical alignment of the new roads have been submitted and, while generally acceptable for the purpose of providing adequate access to the proposed development, approval of the current application should not be taken to mean that these represent the required standard for future adoption (though I'd comment that the vertical alignment drawing is satisfactory for this purpose and is in accordance with previous informal discussions). On that basis I'd have no objection subject to conditions relating to future retention of parking and approval of road construction details. It may also be prudent to include a second recommendation clarifying that approval of the current application does not represent approval of the submitted road construction details for future adoption (for which a separate Section 38 technical approval process will be

required).

5.4 *Drainage*: No comments received.

5.5 *Pollution Control (Contaminated Land)*: The Contaminated Land Team has no comments to make.

5.6 *Landscape Officer (Parks)*: No comments received.

5.7 *Waste Strategy & Minimisation Officer*: The amended planning layout is much more acceptable, in terms of waste storage, with each property able to store bins in the rear garden. The vehicle tracking which has been submitted has been noted. There is one issue with the proposed tracking, which is the reversing of the collection vehicle into the lane between property 11 and 6. I understand this was done in order for the bins at property 7 and 8 to be collected, however, the collection vehicle would not be permitted to reverse into any roads/lanes. The only alternative would be for the bins at property 7 and 8 to be presented for collection next to the eastern boundary of property 11, therefore allowing the collection vehicle to stay on the main road.

5.8 *Public Rights of Way officer*: No comments received.

6. **EXTERNAL CONSULTEES RESPONSES**

6.1 *Welsh Water*: No development shall commence until a drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall provide for the disposal of foul, surface and land water, and include an assessment of the potential to dispose of surface and land water by sustainable means. Thereafter the scheme shall be implemented in accordance with the approved details prior to the occupation of the development and no further foul water, surface water and land drainage shall be allowed to connect directly or indirectly with the public sewerage system.

6.2 The proposed development site is crossed by a public sewer. The position shall be accurately located and marked out on site before works commence and no operational development shall be carried out within 3 metres either side of the centreline of the public sewer.

6.3 The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water Industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets

may affect the proposal.

- 6.4 No problems are envisaged with the Waste Water Treatment Works for the treatment of domestic discharges from this site. A water supply can be made available to serve this proposed development. The developer may be required to contribute, under Sections 40 - 41 of the Water Industry Act 1991, towards the provision of new off-site and/or on-site watermains and associated infrastructure. The level of contribution can be calculated upon receipt of detailed site layout plans.
- 6.5 *Police Crime Prevention Design Advisor:* South Wales Police have no objection to the proposed development and would advise that from a designing out crime perspective layout is good, surveillance levels are good and definition between public and private space is good. However not included in the design and access statement community safety section are security standards for doors and windows, rear garden boundary details, security standards for garage doors, positioning of external meters and lighting levels. In view of the above South Wales Police would recommend - all ground floor windows and main entrance doors comply with PAS24; all garage doors are fitted with locking mechanisms which meet LPS 1175 SR1; all houses fitted with external service meters located towards front elevations; all rear gardens are secured by 1.8 m high fencing or walling and gating; a suitable scheme of work is provided to ensure adequate lighting is provided. If the above advice is incorporated or confirmed by developers then they would be able to apply for a secured by design award. Secured by Design has been shown to cut crime by up to 70% making developments more sustainable in long term.
- 6.6 *Glamorgan Gwent Archaeological Trust:* We previously recommended a condition for a watching brief at this site (13/00836/DCO). We have received and approved a Written Scheme of Investigation for the work as set out in our letter of 29th October 2015. This scheme is applicable to this current application, therefore we trust the work will be carried out in due course, and that we can expect the final report of the archaeological watching brief when it is available.
- 6.7 *Natural Resources Wales:* We note this reserved matters application is for the development of 51 residential dwellings and associated works pursuant of outline planning application 13/00836/DCO. This supersedes the previous reserved matters application, 15/00301/MNR, for 47 dwellings at Land North of Heol Goch following outline application 13/00836/DCO. When compared to 15/00301/MNR, we understand there are changes in the development design and layout and additional information has been submitted in support of the application.
- 6.8 We do not object to the application, provided appropriately worded conditions are added to any planning permission your Authority may be minded to grant. In our letter reference SE/2015/118738/01, dated 30 March 2015, in response to the original reserved matters application 15/00301/MNR, we requested conditions were added to any planning permission your Authority may be minded to grant. We request these conditions are also added to this

permission.

6.9 Potential for Contamination

A Preliminary Ground Investigation, prepared by Core Geotechnics Limited, dated 31 March 2013, has been submitted in support of this application. It is our understanding this report was not submitted with the outline application 13/00836/DCO and the potential for contamination at the site was scoped out of the Environmental Impact Assessment as the site was identified as being greenfield. The report identifies the presence of an old quarry which has been infilled with unknown material. The report identifies a risk of migration of contaminants from the soils to groundwater and then off site. It should also be noted the site is underlain by a principal aquifer. The geological strata at this location may exhibit high intergranular and/or fracture permeability as well as providing a high level of water storage. We note a number of conditions were added to the outline permission to deal with the potential for contamination at the site, most notably conditions 15, 16 and 17. We advise these conditions are also included on any permission you are minded to grant for this reserved matters application, to ensure the protection of controlled waters. Although we welcome the conditions added to the outline permission, we note these were not requested by ourselves in response to the outline application as we understood the site to be greenfield. In light of the Preliminary Ground Investigation submitted we would recommend you consider including a condition to ensure that investigation work fully establishes any potential contamination at the site.

6.10 Due to the site's sensitivity and the likely potential for contamination to be present, also suggest a condition is included relating to contamination not previously identified. In addition, a condition relating to surface water drainage is requested.

6.11 Caeau Blaen Bielly Site of Special Scientific Interest (SSSI)

The development site lies adjacent to the Caeau Blaen-Bielly SSSI and the Nant Cwmlwydrew stream at the north of the site flows into the SSSI. The features of the SSSI include marshy grassland. We note the site layout detailed in drawing number PENT-15-04-02, dated 15.08.15, has been revised since that proposed at the outline application. In responding to the outline application we recommended the scheme should include a buffer of at least 15 metres between built development and the Nant Cwmlwydrew stream, it is also noted that this was included as a requirement in condition 27 of the outline planning permission (13/00836/DCO) granted by your Authority. We advise your Authority ensures the buffer of at least 15 metres between built development and the Nant Cwmlwydrew stream remains.

6.12 Surface Water Drainage

We have noted the detail in the Engineering Drawing, drawing number 1000, and advise the Applicant an oil interceptor will need to be on both the section prior to the attenuation pond and the section to the watercourse to ensure maximum treatment of drainage prior to discharge to the stream. This is imperative to ensure minimal contamination to the Nant Cwmlwydrew, which runs through Caeau Blaen-Bielly SSSI.

6.13 Pollution Prevention

We advise the Applicant to implement appropriate pollution prevention measures to protect surface water runoff which enters surface water drains and/or the nearby Nant Cwmllywdrew from pollution during construction.

6.14 *Pentyrch Community Council*: No comments received.

7. REPRESENTATIONS

7.1 The application has been advertised by press notice, site notice and neighbour notification.

7.2 1 resident of Pentyrch has submitted an objection, stating that the developer should not be allowed to increase the number of houses to 51 – the number was limited to 47 following investigations and discussions.

8. ANALYSIS

8.1 Planning permission has already been granted for residential development on this site (“Development for Residential Purposes with Vehicular Access from Heol Goch” – outline application no. 13/00836/DCO, granted on 15/12/2014) and reserved matters have been approved for a development of 47 dwellings (application no. 15/00301/MNR). It should be noted that the outline planning application was accompanied by an Environmental Statement, required under the Town and Country Planning (Environmental Impact Assessment) (England and Wales) Regulations 1999 (as amended), and this reserved matters application was accompanied by an addendum to the Environmental Statement.

8.2 Since the previous approval of reserved matters, a different developer has taken over the development of this site and wishes to make changes to the approved proposals:

The number of dwellings has been increased from 47 to 51 (increasing the density of development from 18.88 units per hectare to 20.5 units per hectare);

The proposed house fronting Heol Goch between The Coach House and Ty Clyd has been replaced with a pair of semi-detached houses;

The two houses fronting Heol Goch at the entrance to the site have been set further back and separated from Heol Goch by driveways and landscaping;

A double garage on the eastern side of the access road has been replaced by a house;

The 4 houses on the southern side of the road opposite the open space have been re-aligned;

The affordable housing has been relocated from the southern and eastern sides towards the north western side of the site;

A spur of the road has been added to the north eastern side of the site to give access to the houses which face the stream, which were previously proposed to be accessed from the north west side, and the houses in this location have been rearranged;

The section of public footpath on the western side of the site has been re-aligned;

The house types have been amended to Redrow's "Heritage Collection".

8.3 The only issues that can be considered are the matters reserved at the time of granting the outline consent, which are: layout, appearance, scale and landscaping.

8.4 Layout

The proposed layout is not significantly different to that which has already been approved and reflects the principles outlined in the Cardiff Residential Design Guide SPG in terms of legibility, active frontages and incorporating natural surveillance into the layout. The proposed layout is also very similar to the indicative scheme submitted with the outline application and accords with the requirements to provide a 15m buffer between the development and the Nant Cwmllydrew, to maintain a wildlife corridor, and to avoid development at the north eastern side of the site in order to protect sensitive grassland habitat and the adjacent SSSI.

8.5 The proposed layout will ensure that sufficient private and useable outdoor amenity space is provided for the new dwellings and will maintain adequate levels of privacy for the proposed dwellings and for existing properties bordering the site. As with the previously approved scheme, there are two properties adjoining the southern boundary of the site – one is a dwelling unit within the curtilage of Rock House, Heol Goch, and one is a garage with playroom/studio above to the rear of Elerydd, Heol Goch - which have windows on the boundary with the application site which will face towards the rear of the house on plot 13 and the rear of garages on plots 15 and 16. However, there is no record of planning permission having been granted for independent residential use of these buildings and the approved plan for the garage/playroom did not show any windows in the north facing wall. Any loss of privacy or loss of outlook from the windows will be due to the fact that the windows have been formed on the boundary with the application site. There is no right to a view across another person's land. Anyone purchasing the new properties will be aware of the windows.

8.6 The applicant has submitted a plan showing tracking for a refuse collection vehicle, which demonstrates that all the houses will be accessible to the vehicle other than plots 7 and 8. These plots are located on a short drive off the main access road and are not accessible as refuse collection vehicles are not allowed to reverse into lanes. As major changes to the layout would be needed in order to make these two houses accessible to a collection vehicle, and the Waste Management officer states that refuse from these properties could be presented for collection on the main access road, this situation is considered to be acceptable.

8.7 Appearance

As the residential design guide SPG states, it is important to consider the setting and character of the area and this should be reflected in any new development. The mixed design of the houses reflects the vernacular style of many of the existing properties in the area, which contains a varied mixture of building styles. The majority of houses immediately to the north of the site are large, detached properties but to the south and west there are semi-detached and terraced dwellings. The houses will be finished in a mixture of red brick or red brick and chalk coloured render, with slate grey or mixed russet roof tiles, which will harmonise with existing development in the surrounding area. A condition can be imposed to require further details of the brick wall boundary structures as some of these could be very prominent within the development and no elevations have been provided.

8.8 Scale

The proposed two storey houses and single storey garages will harmonise with the scale and massing of existing buildings in the area.

8.9 Landscaping

Insufficient details of landscaping have been submitted to enable this aspect of the development to be fully approved at this stage (e.g. adequate soil protection information has not been submitted), and the landscaping proposals have not been amended to correspond with recent amendments to the layout. However, further details can be required by condition. The plans and other details show that there is sufficient and appropriate space for landscaping and that biodiversity and tree protection requirements have been considered. Full details of planting, drainage, soil remediation etc. can be requested, as per the previously approved reserved matters application.

8.10 With regard to the objection received; there is nothing to prevent a developer applying for permission to increase the number of houses in a development even though a lower number has already been agreed. The application will be determined on its merits.

8.11 Although the drainage officer has not provided comments, this is an application for approval of reserved matters and does not include drainage issues. Drainage is covered by conditions of the outline planning permission. If, in order to discharge the drainage conditions of the outline consent, amendments have to be made to the layout, then the applicant will have to submit a revised application. In response to the previous reserved matters application the drainage officer requested conditions relating to permeable paving and surface water drainage, and these conditions can be repeated for this application.

8.12 Parks officers have also not provided comments – however, their previous concerns relating to the details of the on-site Public Open Space (POS) are covered by the requirements of the S106 obligation for the outline permission which include that the developer submits for approval details of the landscaping, layout, equipping and maintenance of the POS, a timetable for

implementation, details of future management and details of the drainage of the POS.

- 8.13 The concerns of Natural Resources Wales and Welsh Water are dealt with by conditions and recommendations in the outline planning permission, as are the issues raised by the Transportation Officer (which are also covered by the requirements of the S278 process).
- 8.14 In conclusion, the submitted details relating to the reserved matters are acceptable subject to conditions, including a requirement for further landscaping details and conditions setting out exactly which plans and documents are approved, since a number of documents and drawings were submitted with this application which do not relate to the reserved matters but are connected with the discharge of conditions of the outline consent.
- 8.15 Other considerations
Crime and Disorder Act 1998:
Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 8.16 *Equality Act 2010:*
The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic, over and above any other person.



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Scale: 1:2500, paper size: A4

plans ahead by **emapsite™**

Prepared by: Joe Ayoubkhani, 21-08-2015

MATERIALS KEY

Wall

- Main Brick - Bristol HalfBrick Slab
- Small Brick - Bristol Lander Slab
- Main Brick - Bristol Vester Slab
- Small Brick - Bristol Lander Slab
- Rough cast render - lime color

Roof

- Fynonite "Gwyn" - No - Cabot Slate Grey
- Fynonite "Gwyn" - No - Cabot Mixed Rust

Mortar

- Mortar - Natural Sand



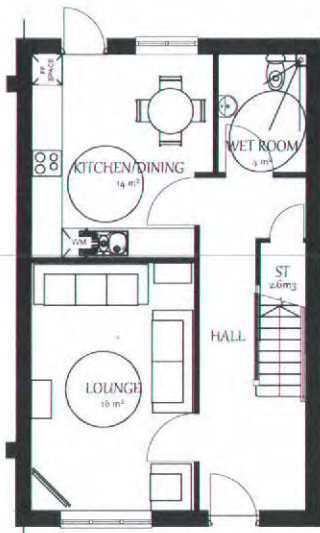
- 1. All units to be constructed in accordance with the Building Regulations for Wales.
- 2. All units to be constructed in accordance with the Building Regulations for Wales.
- 3. All units to be constructed in accordance with the Building Regulations for Wales.
- 4. All units to be constructed in accordance with the Building Regulations for Wales.



SITE OFF HEOL GOCH	
Location:	PENT TRCH, CARDIFF
Client:	REDROW HOMES
Project No:	EXTERNAL MATERIALS LAYOUT
Drawn by:	PENT-15-04-03
Scale:	1:500
Date:	15.06.15

REDROW HOMES
Redrow Homes (South Wales) Limited

1000 Redrow Way
Redrow Business Park, Redrow, Flintshire, North Wales, LL21 0YU



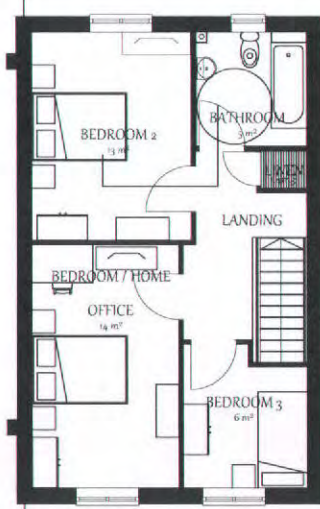
GROUND FLOOR



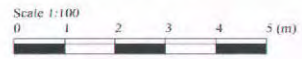
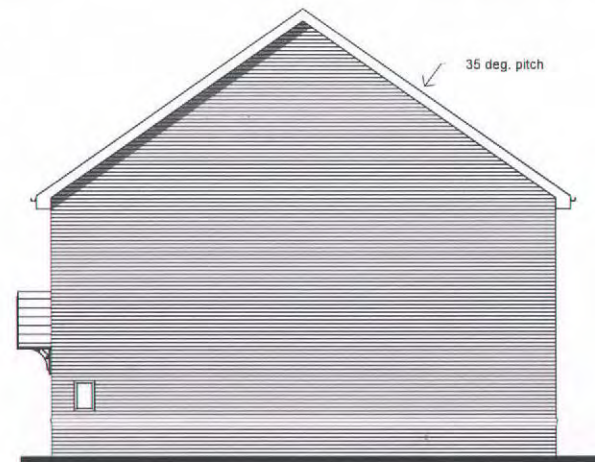
FRONT ELEVATION



REAR ELEVATION

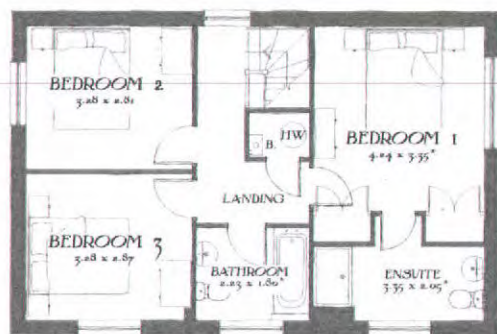


FIRST FLOOR



Housetype 5.3.3
 Ground Floor = 47 sqm
 First Floor = 44.5 sqm
 Total = 91.5 sqm
 Drawing scale 1:100 @ A3

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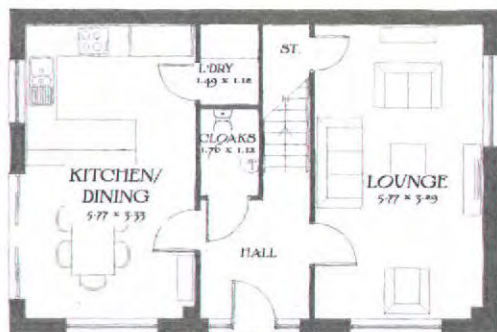
First Floor



Front Elevation



Side Elevation



Ground Floor



Rear Elevation



Side Elevation



The Amberley

Heritage Collection
"2014 Edition"

EF Series Brick (B1)

1137sqft 105.62m²

DATE: February 2015

REV: A

EF_AMBY_DM1.0

Drawing scale 1:100 @ A3
Bedroom dimensions taken into wardrobe recess
* Maximum Dimension

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GROUP SERVICES LTD
www.redrow.co.uk



Front Elevation



Side Elevation



Rear Elevation

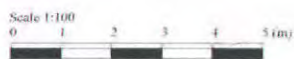


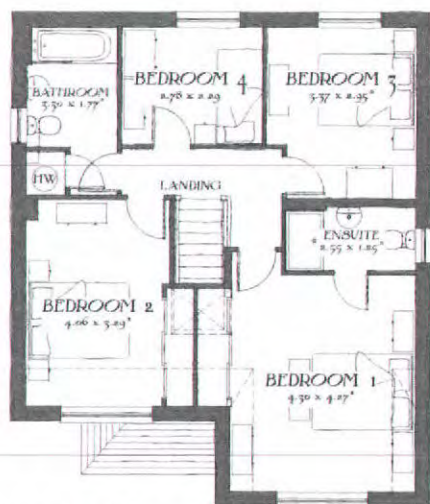
Side Elevation

The Balmoral
Heritage Collection
"2014 Edition"

EF Series Brick (B1)
1808sqft 167.96m²
DATE: April 2014
REV:

EF BALM DM110
Drawing scale 1:100 @ A3

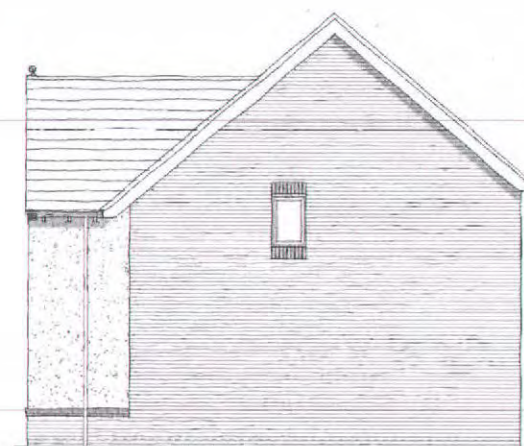




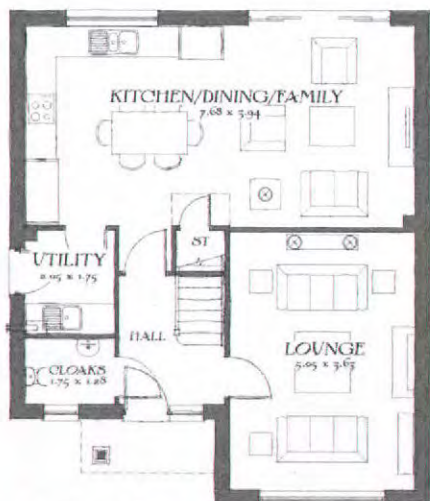
First Floor



Front Elevation



Side Elevation



Ground Floor



Rear Elevation



Side Elevation



The Cambridge
Heritage Collection
"2014 Edition"

EF Series Render (A1)
1382sqft 128.41m²
DATE: March 2015
REV:

EF_CAMB_DM2.0

Drawing scale 1:100 @ A3
Bedroom dimensions taken into wardrobe recess
* Maximum Dimension

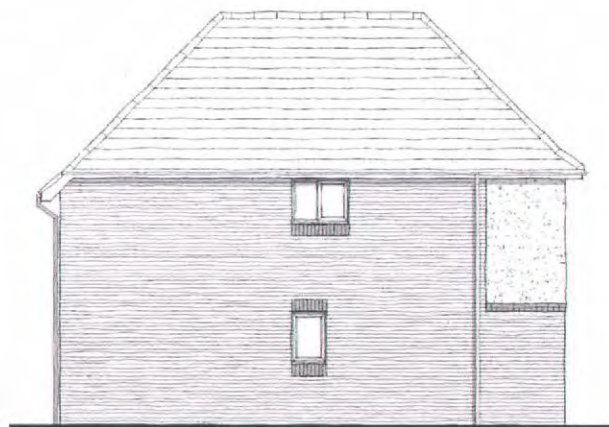




Front Elevation



Side Elevation



Rear Elevation



Side Elevation

The Shaftesbury
(Cnr.)
Heritage Collection
"2014 Edition"

EF Series Render (A1)
1410sqft 131m²
DATE: April 2014,
REV:

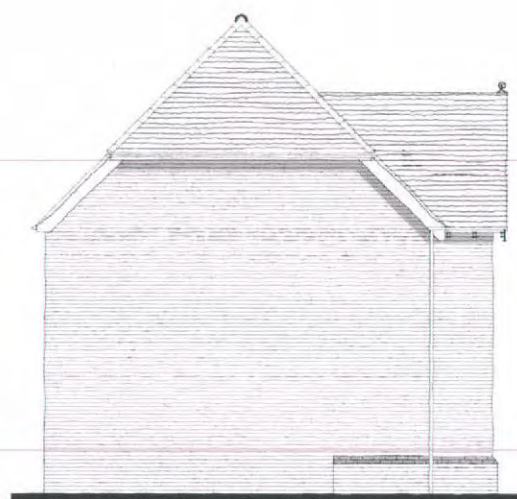
EF_SHAF_DM110

Drawing scale 1:100 @ A3





Front Elevation



Side Elevation



Rear Elevation



Side Elevation



The Highgate 5

Heritage Collection
"2014 Edition"

EF Series Brick (B1)
1932sqft 179.50m²
DATE: April 2015
REV: A

EF_HIG5_DM.1.0

Drawing scale 1:100 @ A3







